## PRELIMINARY INFORMATION



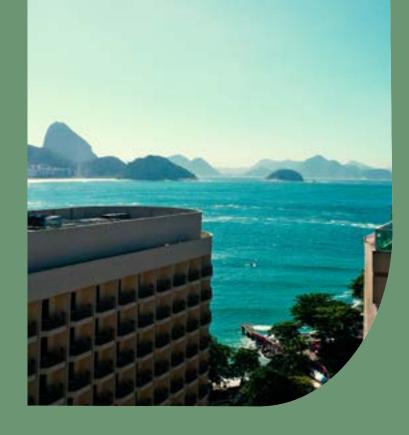
INCORPORATION AND CONSTRUCTION



### Canto Rio. Studios overlooking the city or the sea. An unprecedented leisure area in the most exclusive corner of Rio, Arpoador.

On the corner of Vieira Souto and Atlântica Avenue, one of Bait's most surprising projects is born: Canto Rio. **STUDIO APARTMENTS, GARDENS AND PENTHOUSES OVERLOOKING THE SEA AND THE CITY.** 

A unique project by Bait, combining a privileged location, exclusive views, authorial architecture by Triptyque Architecture, exuberant landscaping by the Escritório de Paisagismo Burle Marx and an unprecedented leisure area, providing an indescribable quality of life on Rio de Janeiro's South Zone waterfront.



# CANTO <sup>RIO</sup> Surrounded by everything, nothing like it around

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This material was produced exclusively for training brokers and its disclosure to third parties is forbidden. The project has been approved by the Rio de Janeiro City Hall, with its license issued under number 22/0496/2021, proceeding number EIS-PRO-2021/00456, and the real state development descriptive report duly registered under number 645794 with the 5th Real Estate Registry Office of Rio de Janeiro. The images of this piece are for illustrative purposes only.

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INCORPORATOR BAIT INC

#### ADDRESS

Rua Francisco Otaviano, 35 Arpoador | Rio de Janeiro | RJ

**ARCHITECTURAL PROJECT** Triptyque Architecture

#### **INTERIOR DESIGN**

III Interior Design by Triptyque Architecture

#### LANDSCAPE DESIGN Escritório de Paisagismo Burle Marx

#### **ARCHITECTURAL CONSULTING** DC Arquitetura

SECURITY CONSULTING Haganá

**DELIVERY TIME** Expected for July 2024

#### **AREA** | 3,504m<sup>2</sup>

#### UNITS | 163 residential units

#### **FLOORS**

- II 2nd underground
- II 1st underground
- II Ground floor
- II Mezzanine/garage
- II Leisure floor
- II 1st floor: apartments and leisure area
- II 2nd to 12th floor: studio type apartments (11 floors)
- II 13th floor: duplex penthouses

#### UNITS | TYPOLOGIES

- II 1st floor: 07 Garden Studio type apartments
- II 2nd to 12th floor: 143 Studio type apartments
- II (13 units per floor)
- II 13th floor: 13 Duplex penthouses



#### PRIVATE AREAS OF THE UNITS

- II Garden apartments: from 46m<sup>2</sup> to 109m<sup>2</sup>
- II Studio apartments: from 36m<sup>2</sup> to 54m<sup>2</sup>
- II Duplex penthouses: 73m<sup>2</sup> to 108m<sup>2</sup>

#### PARKING SPACES

II Covered parking spaces, located on the 1st underground. Units with the right to park 1 vehicle. (subject to availability).

#### LEISURE

- II Coworking, reading and video room
- II Gym operated by Cia. Athletica
- II Lounge
- II Party and gourmet room
- II 25m pool with 2 lanes
- II Pool and solarium
- II Pool bar
- II Sauna
- II Massage room



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#### SERVICES AND SHARING

- II OMO Laundromat
- II Minimarket
- II Bike rack with outlet for electric bicycle and tire gauge
- II Condo bicycles
- II Shared beach kits and sports equipment
- II Delivery receiving center
- II Order depot
- II Concierge
- II Parking space for deliveries and small cargo
- II Shared tools

#### SECURITY

- II Facial recognition system for access control for residents integrated to the remote entrance
- II Monitored perimeter security
- II CCTV circuit with remote access
- II Electronic vehicle access control
- II Separate service/delivery access

# TECHNOLOGY AND AUTOMATION OF THE SHARED AREAS

- II Wi-fi
- II Ambient Sound
- II USB sockets

# TECHNOLOGY AND AUTOMATION IN THE APARTMENTS

- II Smart lock
- II Voice Command Infrastructure IOT (Internet of things)
- II Wi-fi infrastructure
- II Digital spyhole
- II USB sockets

#### SUSTAINABILITY

- II Project in FITWEL® wellness certification process
- II Individual water meters
- II Timer for taps in the shared areas
- II Dual flush
- II Electric bicycle socket
- II Electric car socket
- II Landscaping with automated irrigation
- II Light sensors in the shared areas

#### **TEMPORARY RENTAL SOLUTION**

Partnership with Nomah, for the management of seasonal rentals, increasing the potential of the investment.

Comments:

Preliminary information, subject to change without notice. The official Preliminary Information will be presented at the launching convention and will be included in the sales materials and documents.

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