

PRELIMINARY
INFORMATION

CANTO^{RIO}



INCORPORATION AND CONSTRUCTION

BAIT^{INC}



Canto Rio.

Studios overlooking the city or the sea. An unprecedented leisure area in the most exclusive corner of Rio, Arpoador.

On the corner of Vieira Souto and Atlântica Avenue, one of Bait's most surprising projects is born: Canto Rio. **STUDIO APARTMENTS, GARDENS AND PENTHOUSES OVERLOOKING THE SEA AND THE CITY.**

A unique project by Bait, combining a privileged location, exclusive views, authorial architecture by Triptyque Architecture, exuberant landscaping by the Escritório de Paisagismo Burle Marx and an unprecedented leisure area, providing an indescribable quality of life on Rio de Janeiro's South Zone waterfront.



CANTO RIO

Surrounded by everything, nothing like it around

This material was produced exclusively for training brokers and its disclosure to third parties is forbidden. The project has been approved by the Rio de Janeiro City Hall, with its license issued under number 22/0496/2021, proceeding number EIS-PRO-2021/00456, and the real state development descriptive report duly registered under number 645794 with the 5th Real Estate Registry Office of Rio de Janeiro. The images of this piece are for illustrative purposes only.

INCORPORATION AND CONSTRUCTION

BAIT ORZ 

INCORPORATOR

BAIT INC

ADDRESS

Rua Francisco Otaviano, 35
Arpoador | Rio de Janeiro | RJ

ARCHITECTURAL PROJECT

Triptyque Architecture

INTERIOR DESIGN

III Interior Design by
Triptyque Architecture

LANDSCAPE DESIGN

Escritório de Paisagismo Burle Marx

ARCHITECTURAL CONSULTING

DC Arquitetura

SECURITY CONSULTING

Haganá

DELIVERY TIME

Expected for July 2024

AREA | 3,504m²

UNITS | 163 residential units

FLOORS

- II 2nd underground
- II 1st underground
- II Ground floor
- II Mezzanine/garage
- II Leisure floor
- II 1st floor: apartments and leisure area
- II 2nd to 12th floor: studio type apartments (11 floors)
- II 13th floor: duplex penthouses

UNITS | TYPOLOGIES

- II 1st floor: 07 Garden Studio type apartments
- II 2nd to 12th floor: 143 Studio type apartments
- II (13 units per floor)
- II 13th floor: 13 Duplex penthouses

PRIVATE AREAS OF THE UNITS

- II Garden apartments: from 46m² to 109m²
- II Studio apartments: from 36m² to 54m²
- II Duplex penthouses: 73m² to 108m²

PARKING SPACES

II Covered parking spaces, located on the 1st underground. Units with the right to park 1 vehicle.
(subject to availability).

LEISURE

- II Coworking, reading and video room
- II Gym operated by Cia. Athletica
- II Lounge
- II Party and gourmet room
- II 25m pool with 2 lanes
- II Pool and solarium
- II Pool bar
- II Sauna
- II Massage room

SERVICES AND SHARING

- II OMO Laundromat
- II Minimarket
- II Bike rack with outlet for electric bicycle and tire gauge
- II Condo bicycles
- II Shared beach kits and sports equipment
- II Delivery receiving center
- II Order depot
- II Concierge
- II Parking space for deliveries and small cargo
- II Shared tools

SECURITY

- II Facial recognition system for access control for residents integrated to the remote entrance
- II Monitored perimeter security
- II CCTV circuit with remote access
- II Electronic vehicle access control
- II Separate service/delivery access

TECHNOLOGY AND AUTOMATION OF THE SHARED AREAS

- II Wi-fi
- II Ambient Sound
- II USB sockets

TECHNOLOGY AND AUTOMATION IN THE APARTMENTS

- II Smart lock
- II Voice Command Infrastructure — IOT (Internet of things)
- II Wi-fi infrastructure
- II Digital spyhole
- II USB sockets

SUSTAINABILITY

- II Project in FITWEL® wellness certification process
- II Individual water meters
- II Timer for taps in the shared areas
- II Dual flush
- II Electric bicycle socket
- II Electric car socket
- II Landscaping with automated irrigation
- II Light sensors in the shared areas

TEMPORARY RENTAL SOLUTION

Partnership with Nomah, for the management of seasonal rentals, increasing the potential of the investment.

Comments:

Preliminary information, subject to change without notice.
The official Preliminary Information will be presented at the launching convention and will be included in the sales materials and documents.

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